VILLAGE OF TARRYTOWN
BOARD OF TRUSTEES
WORK SESSION 6:15 P.M.
WEDNESDAY, *NOVEMBER 13, 2019*
Tarrytown Village Hall
One Depot Plaza, Tarrytown, New York

Open Session

1. SAO Zoning and Scorecard and EAF

Executive Session

A. Discussion – DPW Organizational Structure (DPW Superintendent to attend)

Board of Trustees Concerns

Open Session

2. Proposal for Engineering Services – Hydraulic Modeling for Fire Flow
3. Recreation Parking Permits – Issued on Calendar Year rather than Fiscal Year
4. Engineering Services Proposal – Riverside Hose - Firehouse Kitchen Addition Evaluation
5. Crest Water Main Replacement Project
6. Backyard Chickens – Proposed Local law
7. ARB Law Review
8. Replacement Vehicle for DPW Superintendent
9. Police Department Organizational and Budget Changes and Scheduling PO Candidate Interview
10. Volunteer Portal for Boards and Committees

Executive Session

B. Organization Meeting Vacancies
C. MEO Appointment
D. Village Engineer
E. Authorization of Settlement for Failla Claim

Village of Tarrytown
Comprehensive Plan & Station Area Zoning

ARTICLE ___ STATION AREA OVERLAY

1. Intent and Purpose

The intent and purpose of the Station Area Overlay District (SAO) is to create a built environment that implements the goals and objectives for the station area as detailed in the Tarrytown Comprehensive Plan. Property owners with an eligible parcel(s) in this district can apply to receive an SAO designation which can be affixed to a qualifying parcel of land. Once a parcel receives an SAO designation, the parcel is governed by the use, dimensional and other provisions of the SAO zoning regulations, and SAO zoning replaces the existing zoning. The intent of the SAO is to enable and implement the goals and recommendations outlined in the Village of Tarrytown Comprehensive Plan. The SAO is designed to provide flexibility that will allow different types of uses and forms, while still protecting the interests of the Village. The intent is to allow exceptional and signature developments that are consistent with the Comprehensive Plan, while the specifics have not yet been imagined.

2. Definitions and Word Usage

Unless defined herein in the general definitions in Chapter 305, the following definitions apply.

Affordable Housing
Reference § 305-130.

Blue / Green Strategies
Refer to Blue Roofs and Green Infrastructure below.

Blue Roofs
Rooftop systems that control the discharge of stormwater into a municipal system by detaining stormwater on a roof and until the peak rate of discharge is reduced. (Source: adapted from New York State Department of Environmental Conservation

Cooperative Housing, Collective Housing, Cooperative Living, or Share Housing
A shared living arrangement in a multi-unit building where certain facilities are shared between building occupants, for example kitchen, living, or toilet/bathing facilities.

Green Infrastructure
Green infrastructure includes a wide array of practices at multiple scales to manage and treat stormwater, maintain and restore natural hydrology and ecological function by infiltration, evapotranspiration, capture and reuse of stormwater, and establishment of natural vegetative features. On the local scale green infrastructure consists of site- and neighborhood-specific practices and runoff reduction techniques. (Source: NYSDEC, Stormwater Management Design Manual)

LEED
Leadership in Energy and Environmental Design (LEED) is a rating system devised by the United States Green Building Council (USGBC) to evaluate the environmental performance of a building and encourage market transformation towards sustainable design. (Source: U.S. Green Building Council)

LEED Certification
A designation given to projects that demonstrate adherence to prerequisites and earn credits across nine measurements for building excellence from integrative process to indoor environmental quality. Based on the number of credits achieved, a project earns one of four LEED rating levels: LEED Certified, LEED Silver, LEED Gold or LEED Platinum. The LEED rating systems work for all buildings at all phases of development and are meant to challenge project teams and inspire outside-the-box solutions. (Source: U.S. Green Building Council)

Live-Work Space or Live/Work Unit
A building or space within a building used jointly for commercial and residential purposes. (Source: American Planning Association / Planning Advisory Service)

Passive House Standards
Passive House building is an internationally recognized, performance-based energy standard in construction that comprises a set of design principles used to attain a quantifiable and rigorous level of energy efficiency within a specific quantifiable comfort level. A passive building is designed and built in accordance with these five building-science principles:
1) Employs continuous insulation throughout its entire envelope without any thermal bridging.
2) The building envelope is extremely airtight, preventing infiltration of outside air and loss of conditioned air.
3) Employs high-performance windows (typically triple-paned) and doors.
4) Uses some form of balanced heat- and moisture-recovery ventilation and a minimal space conditioning system.
5) Solar gain is managed to exploit the sun's energy for heating purposes in the heating season and to minimize overheating during the cooling season

(Source: Passive House Institute US)

Shared Parking
A land use/development strategy that optimizes parking capacity by allowing complementary land uses to share spaces, rather than producing separate spaces for separate uses. In effect, shared parking makes spaces publicly accessible rather than reserved for a particular tenant or property owner. Parking may be privately constructed and operated, depending on a contractual agreement, but should remain within the government's jurisdiction for long-term transport planning purposes. (Source: Institute for Transportation and Development Policy)

Transit-Oriented Development (TOD)
A land use strategy that focuses development around locations that are well served by transit, and that typically includes a mix of land uses, and a more dense development pattern. (Source: Westchester County Planning)

Workforce Housing
One or more dwelling units made available to households earning between 60 and 120 percent of Westchester Area Median Income. (Source: adapted from Urban Land Institute)

Acronyms
MDP Master Development Plan
MNR Metro-North Railroad
MHW Mean High Water
SAO Station Area Overlay
SLR Sea-Level Rise

3. Boundaries of the Station Area Overlay District

The boundaries of the SAO District are shown on the SAO District Map at _____.

4. Authority

The Village Board has the authority to grant eligible parcel(s) an SAO designation as set forth below in §305-XX.E "Eligibility". A parcel located within the mapped SAO District must receive an SAO designation by the Village Board prior to the Planning Board determining whether to grant or approve a Site Development Plan.

5. Eligibility

This section sets forth standards under which parcels would be eligible for SAO designation by the Village Board. The criteria in this section are separate and distinct from site plan and subdivision requirements which address more specific site layout and design requirements.

1. The parcel is located within the SAO designated area as identified on the Village Zoning Map
2. The applicant states their intention to submit a Master Development Plan consistent with § 305-XX(9).
3. The decision to approve or decline a parcel for SAO designation is purely a legislative determination entirely within the legislative discretion of the Village Board. The Village Board shall have the right to reject any parcel for SAO designation at any stage of the process. As part of its decision to approve a parcel from SAO designation, the Village Board shall determine what the proposed site development plan is consistent with the following SAO objectives:
    a. Promote sustainable development and growth; improve local mobility and regional access; reduce dependence on personal vehicles; connect all parts of the village; expand housing options for a diverse, multi-generational community; protect natural resources; connect and enhance open space resources; strengthen connections to the Hudson River; reduce greenhouse gas emissions; and, minimize local impacts of climate change.

6. Procedure for SAO Designation

An SAO designation can only be granted by the Village Board subject to the following procedure.

1. Pre-application conference. The applicant must, prior to formal submission of their SAO designation application, meet in a pre-application conference with the SAO review staff made up of Village Staff and one member of the Planning Board, to review the requirements and procedures and discuss the planning concepts for the proposed development. The Applicant will pay the pre-application meeting fee (as established by the Village Board).
2. Submission of an application package for a SAO designation to the Village Clerk: The application package shall contain the following required documents and fees:
    a. an SAO Designation Application Form.
    b. A conceptual plan.
    c. Long-form Environmental Assessment Form.
3. Preliminary Village Board action. At its sole discretion, the Village Board will determine whether to consider or not consider the SAO designation application. If the Village Board decides to consider the SAO designation application, it shall refer it to the Planning Board for their recommendation and continuing review as set forth below.

4. Village Board Referral to the Planning Board. If the Village Board determines that the application may continue and refers it to the Planning Board, the Applicant is required to submit a Master Development Plan consistent with § 305-XX(9) and a site development application in accordance with Article XVI, including all required forms, plans and documents, as well as, required fees and escrow, but is not required to submit building permit fees at this stage.
5. Master Development Plan and Site Development Plan review by the Planning Board: The Planning Board shall begin the Site Development Plan review, review the Master Development Plan based upon the Performance Criteria set forth in § 305-XX(10), and schedule a public hearing on Master Development Plan and Site Development Plan application in accordance with the requirements set forth in Article XVI. During this step, the Village Board will receive periodic updates from the Planning Board as part of the coordinated review.
    a. As soon as practicable, the Planning Board shall complete the scoring process and recommend a score based upon the Station Area Overlay Scorecard (SAO Scorecard), which is a programed spreadsheet that can be found on the Village's website. The SAO Scorecard will be used by the Planning Board in electronic form to provide any proposed development within the SAO area described in a Master Development Plan with a score. Upon completing the SAO Scorecard electronically, the Planning Board shall advise the Village Board of the total score. The Village Board can accept the Planning Board recommended score or modify the score as it deems appropriate. The Master Development Plan must receive a passing score to proceed. A passing score is 85.
    b. Upon the Village Board assigning a passing score but prior to determining whether to grant or deny Site Development Plan approval, the Planning Board shall issue a written report to the Village Board recommending that the SAO designation be granted, with or without conditions, or denied and its reasons for such recommendation ("SAO Recommendation"). Before issuing its SAO Recommendation and/or taking any action, the Planning Board shall fully comply with SEQRA.
    c. While the Village Board is considering the Planning Board's report, any public hearing before the Planning shall be adjourned and held open until such time as the Village Board makes a determination on the proposed SAO designation.
6. Decision of Village Board. Upon the Village Board's receipt of the Planning Board's SAO Recommendation, along with Master Development Plan, if the Village Board elects to proceed it shall schedule a public hearing on the proposed SAO designation and following said hearing, may by resolution, act either to approve, approve with modifications and/or conditions, or disapprove the SAO designation. The Village Board shall fully comply with SEQRA prior to issuing any designation.
7. Completion of Land Use Review Process. If the Village Board determines to approve the SAO designation (including to approve with modification and/or conditions), the Planning Board will place the application on its first available agenda and will continue with its Site Development Plan review and any other required land use approvals (such as preliminary and final subdivision review). The Applicant shall not be able to apply the SAO designation unless and until the Planning Board grants Site Development Plan approval.

7. Use Regulations

A. Pre-existing Uses and Buildings.

Any building permit or Site Development Plan approval issued before the date of adoption of this Section shall remain in effect for the underlying zone that the parcel is located within until a project is granted an SAO designation by the Village Board as set forth in §305-XX E Eligibility. Buildings existing before the date of adoption, or subsequent amendment, of this Section are allowed to expand and modify as permitted under the underlying zoning unless they have previously received an SAO designation. Once a parcel receives an SAO designation, the parcel is governed by the use, dimensional and other provisions of the SAO zoning regulations, and SAO zoning replaces the existing zoning.

B. Permitted Uses

Any principal use permitted in any district in the Village of Tarrytown or any combination of such uses is a use permitted in the SAO provided the proposed use's Master Development Plan receives a receive a passing score by the Village Board on the SAO Scorecard as described in § 305-XX(9)(C).

8. Density/Development Regulations

A. Building Height Measurement in SAO

Building height for buildings permitted in the SAO district is measured from the average elevation of the existing (predevelopment) grade of the property, or from a plane formed by the Base Flood Elevation from the Federal Emergency Management Agency's 2014 preliminary Flood Insurance Rate Map (pFIRM), or subsequent revisions, plus three feet, whichever is higher. Building height is the vertical distance from the higher of these points to the highest point of the roof for flat roofs, to the deckline of mansard roofs and to the mean height between eaves and ridge for gable, hip and gambrel roofs.

B. Maximum Building Height.

1. The maximum base height permitted for buildings east of the Metro North Railroad tracks is six stories or 72 feet, whichever is less. After six stories or 72 feet, a 40-foot setback is required, with the maximum tower height of ten stories or 120 feet, whichever is less. The maximum building height permitted west of the Metro North Railroad tracks is five stories or 60 feet, whichever is less. Reference Neighborhood Character below for a complete description of the Performance Criteria.

2. The rooftop obstructions are not permitted to exceed the maximum building height unless granted a waiver by the Planning Board. For the purpose of this provision, rooftop obstructions are defined as:

- Parapets less than four feet,
- Stair and elevator bulkheads,
- Cooling towers, water tanks, and other mechanical equipment which occupy less than 20% of the roof area,
- Skylights or other daylighting devices,
- Decking and other surfaces for recreational activities,
- Vegetation, planting boxes less than four feet, soil and drainage systems, arbors, trellises, water collection devices and sun control devices,
- Solar energy systems less than four feet.

- And other similar type items

In no case can rooftop obstructions exceed the maximum building height by more than 10 feet, west of the Metro North Railroad tracks, or 20 feet, east of the Metro North Railroad tracks.

9. Master Development Plan and SAO Scorecard

For any Applicant seeking SAO designation, the applicant shall prepare a Master Development Plan (MDP). The MDP shall be consistent with the adopted Tarrytown Comprehensive Plan and Tarrytown's adopted Local Waterfront Revitalization Plan (if applicable, currently N/A). The purpose of an MDP is to provide additional information so that the proposed use and development can be evaluated based upon the Performance Criteria set forth in § 305-XX(10) and assigned a score based upon the SAO Scorecard.

A. Master Development Plan.

At minimum, an MDP shall include the following drawings and materials: (a) site plan that complies with the requirements of Article XVI; (b) Landscape plan; (c) Streetscape plans and elevations; (d) Parking plan; (e) Visual Analysis including rooftop obstructions if applicable; (f) Preliminary Infrastructure Analysis; (g) Preliminary Fiscal Analysis; (h) Affordable Housing Plan (if applicable); and (i) Phasing plan, if the project is to be built in phases

The MDP must also include a discussion of required utilities and a plan for the supply of water and wastewater disposal, which must include a discussion of the current condition and capacity of all public utilities that the development will be required to use. The MDP must also show how any development in the SAO will be resilient to periodic storm events, long-term sea level rise, and how it incorporates energy, graywater, and other sustainability measures. The MDP must also include a viewshed analysis and photosimulations that demonstrate the development's impact on the viewpoints identified in section ____. The MDP shall also contain such other information as the Planning Board deems necessary to demonstrate how the proposed development performs against the Performance Criteria found in § 305-XX(10)

B. Review of MDP

The Planning Board shall review and evaluate the MDP according to Performance Criteria identified in § 305-XX(10). The Planning Board, may refer the Master Development Plan to a planner, attorney, engineer, landscape architect, environmental expert or other professional necessary to enable it to review such application. Fees for such services will be paid in accordance with § 305-138(B) and § 305-138(C).

C. Scoring the MDP

The Planning Board and the Village will use the SAO Scorecard to evaluate a MDP's performance against the Performance Criteria outlined in the SAO Scorecard. The scores an MDP receives on each component of the performance criteria will be determined by the Planning Board, as assisted by professional staff and experts working on their behalf. Using the SAO Scorecard and a 100-point scale, a score of 85 is a passing score. The SAO Scorecard also allows projects to earn bonus points, which are added to the score, so it is possible to exceed a score of 100. A passing score is a condition to the granting of Site Development Plan approval. An MDP that does not receive a passing score will not be eligible for SAO Designation and a failing MDP will not be referred from the Planning Board to the Village Board for further review.

10. Performance Criteria & Bonus Points

Master Development Plans are evaluated against eight Performance Criteria. Performance Criteria and their Components are categories of public concern identified in the Village of Tarrytown Comprehensive Plan against which all MDPs are evaluated. Performance Criteria are made up of Components, which are implemented through the SAO Scorecard. MDPs must receive a passing score from the SAO Scorecard to be eligible for an SAO designation by the Village Board. Low scores in one Performance Criterion may be offset by high scores in other Performance Criteria to achieve a passing score. There are eight Performance Criteria, each with their own Goals and Components as set forth below:

1. Land use

Goals:
East of the tracks, the mix of land uses in the Station Area will help create a dynamic, transit-oriented neighborhood that anchors the area around the Metro-North Railroad (MNR) Station. This land use mix will promote the village as a regional hub and destination, while serving Tarrytown's residential population through the provision of neighborhood amenities, as well as broadening the local economy and growing the tax base. Any residential component should include a mix of housing unit sizes and models that will serve the needs of a wide range of living needs and incomes. Office spaces may include co-working, incubator spaces, and live-work.

West of the tracks, the mix of land uses will prioritize public access and water-based recreational uses that enable the waterfront to become a year-round destination within the village.

Components:

- The MDP incorporates the mix of uses reflecting the goals of the area. Retail uses will be planned to support the other proposed uses of the SAO and not supplant the existing downtown retail.
- The MDP shows workspaces that are flexible and expand the range of offerings within Tarrytown.
- The MDP shows no uses that are contrary to the goals of the station area.

2. Mobility & Access

Goals:
All developments will enhance pedestrian safety and access within the SAO. All developments and their pedestrian, vehicle, and bicycle access will be coordinated with the street network, connect to each other and facilitate access to the waterfront, the Station, the adjacent downtown area, and encourage access to Tarrytown and nearby destinations beyond the Station Area.

Components:

- The MDP shows Complete Streets, defined as roadways planned and designed to consider the safe, convenient access and mobility of all roadway users of all ages and abilities.[1]
- The MDP improves connections between new facilities and all transit modes at Depot Plaza.
- The MDP provides access to new and existing parks.
- The MDP demonstrates that every unit has a direct pedestrian route to the MNR station, including through a building, provided public access is maintained, or to an intersection that has a direct pedestrian route to the train station.
- The MDP provides features to alleviate congestion in the Station Area specially and Tarrytown in general.
- Where applicable, the MDP improves the connection between the MNR Station and downtown.

3. Transportation & Parking

Goals:
All developments will support the transit-oriented goals for the Station Area while providing parking types and levels sufficient for the land uses proposed.

Components:

- The MDP demonstrates how all parking needed by residents, workers, customers, and visitors will be provided. Solutions may be shared or separate, structured on-site, off-site, above ground, or below ground. Any parking facilities must include car share, bicycle parking, and electric vehicle / electric bike charging infrastructure.
- All parking solutions should minimize surface parking lots.
- The MDP demonstrates how it will accommodate different modes of transportation, which may include bicycles, bike share, ride share, and transit.
- Any commuter parking that is displaced will be replaced in a structure within the SAO.

4. Affordable Housing

Goals:
Any residential component of developments within the SAO will expand the supply of permanently affordable housing and offer alternative models of housing within Tarrytown in order to serve a range of resident incomes and household types. The minimum requirement for the affordable component will follow § 305-130, although it is highly desirable to exceed the quantity and/or level of affordability provided by the code minimums.

This criteria is not applicable for projects with fewer than 10 dwelling units. For non-residential development, the SAO Scorecard proportionally increases the importance of the remaining seven criteria

Components:

[1] As discussed in Chapter 398 of the Laws of the State of New York. Information about Complete Streets is distributed by NYS DOT here: https://www.dot.ny.gov/programs/completestreets. The Planning Board may update or replace these guidelines as necessary.

- The MDP includes a mix of unit types, sizes, and price points. These may include workforce housing, live/work units, and cooperative housing.
- The MDP includes residential units for both renters and owners.
- The MDP should include units that are managed as permanently affordable housing.[2] All affordable units should be integrated within mixed-income buildings.
- The MDP includes a provision for senior housing in the Station Area. Innovative siting of senior housing, such as it being located near or within the same building as day-care or other intergenerational uses, is encouraged.

5. <u>Neighborhood Character</u>

Goals:
Development in the SAO will create a sense of place and arrival at the train station, completing the waterfront neighborhood. Development east of the tracks will maintain a scale and block structure that supports street-level activities and enhances the transition from the waterfront, to the Station Area, and to the village downtown. Development in the SAO will not impact public scenic views of the Hudson River and Palisades.

Components:
- The Visual Analysis, included with the MDP, must demonstrate no significant impact on public scenic viewsheds, including views to the Hudson River and Palisades. The technique for photosimulations is described in § 305-XX(11). This impact will be demonstrated with verifiable digital photomontages of the proposed development from the following viewpoints:
    - View along Wildey St at N Broadway – toward the Hudson River
    - View from Neperan Rd at Grove St – W/NW toward the Hudson River
    - View along Altamont Ave – W toward the Hudson River
    - View along Benedict at Rosehill Ave – toward the Hudson River
    - View along Main St at Broadway – toward the Hudson River
- The MDP shows development that respects Tarrytown's architectural legacy.
- The MDP shows uses that are consistent with residential and recreational uses (e.g. MDP demonstrates no impacts to air quality, water quality; the MDP does not describe uses that introduce significant noise and vibrations).
- The MDP contains active and transparent ground floor uses designed for pedestrian access and circulation with building orientation planned to improve wayfinding, access, and contribute to a sense of arrival at the train station.
- The MDP shows a development that is designed primarily around the pedestrian and not the automobile.
- The MDP's landscape plan is complete and includes native plantings, street trees and full-cutoff, non-polluting light fixtures to encourage dark sky lighting. The landscape plan must be coordinated with any village street furniture.

Methods:
The photosimulations required to demonstrate the impact on the viewpoints listed in the Neighborhood Character Performance Criteria must be performed as follows.

1. The photosimulations must be produced using a technique that merges and existing conditions photograph with an elevated 3D computer model of the Master

[2] Reference § 305-130.

Development Plan and references. The existing photograph and the 3D computer model must be merged using references that exist in both the photograph and the 3D model. The photosimulations should accurately represent the MDP using photorealistic textures that portray the facades and building colors proposed. Streets, sidewalks, landscaping, and anything placed on a roof are a part of the MDP and should be shown in the photosimulations. The lighting used in the photosimulation should be set to the time of day and time of year of when the photographs were taken.

2. The existing condition photographs should be taken from the viewpoints identified from the location that provides the best view toward the project. They must show leaf-off, no snow conditions and must be taken when atmospheric conditions are clear. Photographs should be taken with at least a 50mm equivalent (normal) lens or telephoto lens. Wide angle lens may only be used when they are necessary to include all elements of the MDP within the frame of the photograph.

3. The Planning Board may require an audit of the photosimulations to ensure that the proper methods have been used and that they accurately reflect all of details of the MDP. The applicant must provide reasonable access to the data used to produce the visual simulations, and the personnel who produced the visual simulations must granted to auditors identified by the Planning Board, should the Planning Board believe that such audit is required.

6. Infrastructure

Goals:
All developments will minimize their impact on existing infrastructure.

Components:

- The MDP includes an infrastructure plan providing for stormwater capture as per code and incorporates blue / green strategies, including for example: green roofs, blue roofs, detention tanks, green infrastructure, and permeable surfaces within or under the development site inclusive of roads and sidewalks. At a minimum, all streetscapes must include green infrastructure.
- The development shall not result in a net increase in infrastructure costs to the Village.
- The MDP utilizes onsite renewable sources to meet its energy requirements
- The MDP places new infrastructure below grade *as feasible and necessary* for resiliency plans.

7. Open Space

Goals:
All developments will improve access to and continuity between existing public open spaces and the Hudson River.

Components:

- The MDP identifies public and private open spaces within all developments.
- The open space provided should be programmed for active uses.

- Where applicable, the MDP preserves public view corridors and respects a development buffer of 50 feet from shoreline as measured by the Mean High Water (MHW) line along the Hudson River, except where the use of water is an integral part of such structure.
- Riverfront facades shall not exceed 150 feet in length.
- The MDP provides public access to the water, including points where the public may reach the river. This may include one or more kayak and/or boat launches with adjacent storage racks.

8. Sustainability & Resiliency

Goals:
All developments will promote human health and safety and minimize resource consumption, including water and energy, waste, and greenhouse gas emissions. Development should incorporate renewable energy systems, adaptability to a changing climate, and resiliency to extreme weather events.

Components:

- The MDP demonstrates holistic consideration for the environmental performance of sites and buildings, which may be satisfied through building and site design that achieve LEED Silver or higher ratings,[3] or conform to / exceed Passive House Standards,[4] or equivalent standards in effect at the time of application.
- The MDP is designed to account for sea level rise, as described in 6 NYCRR Part 490, and to be adaptable to changing projections. The MDP must demonstrate that it does not worsen the potential for flooding within the SAO. The base level(s) of any building must be designed to enable adaptation for sea level rise, including retrofit for wet flood proofing.
- The MDP site and buildings are designed to moderate the impacts of extreme heat and rain events.
- Greywater is captured to irrigate landscaping, gardens or parks.

9. Bonus Points

Goals:
MDPs that do not receive a passing score on the eight Performance Criteria scored by the SAO Scorecard may receive bonus points that are added to its score to allow it to achieve a passing score. Up to 25 bonus points are available.

Components:

- The MDP provides a contribution to an infrastructure fund that benefits the Station Area, or provides a developer performed public amenity. The score for this component is based upon the amount of the contribution, or provided public amenity, relative to the overall project cost.
- The MDP benefits Tarrytown's municipal finances.

[3] https://new.usgbc.org/leed-v4
[4] https://www.passivehouse-international.org/index.php?page_id=150

11. Expiration, Revocation, and Enforcement

An SAO designation shall expire if the SAO designated use or uses cease for more than 24 consecutive months for any reason, if the applicant fails to obtain the necessary Building Permits or fails to comply with the conditions of the site development plan approval as described in § 305-143.

An SAO designation may be revoked by the Village Board of Trustees if the permittee violates the conditions of the site development plan approval or engages in any construction or alteration not authorized by the site development plan. Any such unauthorized or unapproved construction or alteration will immediately trigger a suspension of all work on site and fines as determined by the Village Board of Trustees.

Tarrytown Station Area Overlay Scorecard
Summary

Criteria	Maximum Possible Score	Actual Score	
Land Use	12.5	8.3	
Mobility & Access	12.5	7.5	
Transportation & Parking	12.5	0.0	
Affordable & Senior Housing	12.5	5.6	
Neighborhood Character	12.5	6.9	
Infrastructure	12.5	8.3	
Open Space	12.5	8.3	
Sustainability & Resiliency	12.5	9.0	
Subtotal Performance	**100**	**54.0**	**Fail**
Bonus points	**25**	**25.0**	
Total Score	**125**	**79.0**	**Fail**

Passing score = 85

Notes:

The minimum passing score is 85

Except where noted, and in the Bonus tab, a score of zero for any component will result in a criteria score of zero

Where a component does not apply, enter "NA," and change the valid number of components

Only change values in cells so highlighted: [ ] All other cells are calculated

COMMITMENT & INTEGRITY DRIVE RESULTS

800 Westchester Avenue | Suite N507
Rye Brook, New York 10573
www.woodardcurran.com

T 800.807.4080
T 914.448.2266
F 914.448.0147

WOODARD & CURRAN

Via Electronic Mail

October 28, 2019

Dan Pennella, P.E., Village Engineer/Building Inspector
Village of Tarrytown
One Depot Plaza
Tarrytown, NY10591

Re: Proposal for Engineering Services
Hydraulic Modeling for Fire Flow

Dear Dan:

Woodard & Curran is pleased to provide the Village of Tarrytown with this proposal to provide Professional Engineering services related to the update of the Village's Water System Model to demonstrate fire flow availability and suitable pressure conditions for a new development. Below please find our Project Understanding and proposed Scope of Work and Budget.

Project Understanding

The Village is in the process of evaluating hydraulic conditions associated with new development in the Village. As part of that evaluation, the Village would like to update their existing water system model, previously developed by Woodard & Curran, to reflect the service connection to the New York State Police barracks and estimate minimum available pressures for fire protection systems across the Village.

Scope of Services

Woodard & Curran will provide the following services as part of this project:

1. State Police Barracks Fire Flow: Woodard & Curran will add additional piping to the model as directed by the Village at the location of the police barracks. Woodard & Curran will run the updated model to obtain updated modeling results for available fire flow at that location. Results will be presented in a memorandum with accompanying figures.
2. Minimum System Pressures: Woodard & Curran will use the hydraulic model to estimate minimum system pressures during the peak hour of the maximum demand day across the distribution system, for use in planning and design for sprinkler systems in new or renovated buildings. Results will be presented as a large-format figure with model nodes labeled with ground elevation and minimum available pressure.

Schedule:

The Scope of Work specified herein will begin immediately upon authorization to proceed. It will be completed within two weeks after authorization is received.

Compensation:

For Services proposed herein, we propose a Lump Sum fee of $3,000. The project will be invoiced as a single lump sum upon completion. Services will be provided in accordance with the most current Terms and Conditions between Woodard & Curran and the Village of Tarrytown.

2

WOODARD &CURRAN

Assumptions:

The scope of work and costs presented above are based on the following assumptions.

- The existing model's maximum day demand scenario and calibration is suitable for use in the modeling analyses in this scope.
- No in-person meetings will be required as part of the project scope.

Alternative Approach

As an alternative to this project-specific Scope of Services, we propose that the Village could retain Woodard & Curran for on-call technical services for its water system, inclusive of hydraulic modeling, SCADA maintenance, and other services as required. This would allow small and quick turn-around tasks such as this model analysis to proceed on an expedited basis. A budget of $10,000 to $15,000 is proposed, as our annual SCADA maintenance services have averaged approximately $10,000. Work would proceed on a Time and Materials basis in accordance with our current rate table at the time of service.

Thank you for this opportunity to submit this proposal and please feel free to call with any questions.

Sincerely,

WOODARD & CURRAN ENGINEERING P.A. P.C.

Anthony C. Catalano, P.E., BCEE
Principal

Steven C. Robbins, P.E., LEED AP
Project Manager

Effective date: As of _____2019.

IN WITNESS WHEREOF, the undersigned have caused this Task Order in the amount of $_____ to be duly executed by their authorized representatives set forth below.

VILLAGE OF TARRYTOWN
By:_____
Name:_____
Title:_____

WOODARD & CURRAN ENGINEERING, P.A., P.C.
By:_____
Name: Anthony C. Catalano, P.E.
Title: Principal

THE Chazen COMPANIES®
Proud to be Employee Owned
Civil Engineers
Land Surveyors
Planners
Environmental & Safety Professionals
Landscape Architects
Transportation Planners & Engineers

WESTCHESTER OFFICE
1 North Broadway, Suite 803
White Plains, NY 10601
P: 914.997.8510 or 888.539.9073
www.chazencompanies.com

August 12, 2019

Dan Pennella, P.E.
Village Engineer
Village of Tarrytown
One Depot Plaza
Tarrytown, NY 10595

Re: Professional Services Proposal
Tarrytown Firehouse
176 Franklin St, Tarrytown, New York
Chazen Proposal #PM19-148

Dear Mr. Pennella:

The Chazen Companies (Chazen) thanks you for the opportunity to present this Professional Services proposal to perform a condition assessment for the Riverside Hose Firehouse located in the Village of Tarrytown, Westchester County, New York (project site).

This proposal is outlined to provide a site visit, structural assessment and written report in response to your request that was sent via email July 12, 2019. The email included a Condition Survey Report dated June 15, 2016 completed by EDG and a sketch dated December 12, 2016 for proposed access opening to the crawl space under the kitchen area. Chazen will consolidate expenses by combining travel to the site with our scheduled visit for the Red Flag Bridge effort that is located nearby.

PROJECT UNDERSTANDING

Chazen has reviewed the documents provided and discussed the issues at the firehouse with the Village Engineer, we understand that the Client desires Chazen to conduct a site visit and respond with recommendations to remedy any structural deficiencies within the existing building. We understand the original firehouse has had a section of inhabitable space constructed later that currently serves as a kitchen space. According to the EDG report, the kitchen section of the building may be experiencing framing and or bracing/support deficiencies. After consultation with the Village, Chazen may be asked to prepare a set of structural construction documents that implements repair solutions, however the scope and professional services fee for the same will be fully identified in a future scope of services.

SCOPE OF SERVICES

TASK 01 – LIMITED BUILDING CONDITION ASSESSMENT

Scope – Chazen will visit the project site to perform a building condition assessment of the visible and accessible portions of the building envelope and structural systems specific to the kitchen area of the existing building. The assessment will correspond to select sections of SEI/ASCE 30-00 and SEI/ASCE 11-99, Preliminary

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FEE SUMMARY TABLE

Tasks				Anticipated Schedule
Task No.	**Task Description**	**Lump Sum**		**Task Duration**
01	**LIMITED BUILDING CONDITION ASSESSMENT**	$2,500		See Task Description
Fee Subtotals		$2,500		
Total Estimated Fee Budget		$2,500		

1 Projected start and end dates are subject to change and are based on the date from authorization to proceed. Because certain aspects of the project are outside of our control, we cannot guarantee completion of this project without further discussion with the Client.

AGREEMENT

Attached please find a copy of our Standard Agreement. Receipt of an executed copy of this Agreement will be our authorization to schedule the performance of this work. Please be aware that the projected task start and completion dates are based upon timely receipt of the signed Agreement. A delay in returning the necessary documents may require modification of the proposed task start and completion dates as described herein. This proposal is valid for 30 days from the date hereof.

Please note that while we have furnished what we believe is a comprehensive and complete scope of services, we are open to dialogue as to how we may modify our proposal to ensure that our services may better meet your needs, and/or how alternate approaches may be implemented.

Please feel free to contact me at (914) 269-5612 or cthorn@chazencompanies.com if you have any questions. Chazen looks forward to working with you on this project.

Sincerely,

Charles Thorn

Charles Thorn, P.E.,
Director, Engineering Services

Attachment: Standard Agreement

Professional Services Agreement
Project Name: Tarrytown Firehouse Assessment

Proposal Number: PM19-148
Project Number: _____

AGREEMENT MADE this _____ day of _____ 2019 by and between Chazen Engineering, Land Surveying & Landscape Architecture Co., D.P.C. (CELSLA), a New York professional corporation with its principal place of business at 21 Fox Street, Poughkeepsie, New York 12601 (hereafter referred to as "The Chazen Companies" or "Chazen") and Village of Tarrytown, NY (hereafter referred to as "Client").

1. **PURPOSE:** Client hereby retains Chazen to perform the services described in the Proposal For Professional Services dated AUGUST 12, 2019 which is hereby made a part of this Agreement.

2. **COMPENSATION:** Chazen's compensation for services shall be as stated in the Proposal For Professional Services. Chazen shall submit invoices on or about the tenth day of each month. Invoices shall be payable upon receipt. Invoices not paid within 30 days will be assessed a finance charge of 1.5% per month. At the beginning of each calendar year Chazen reserves the right to adjust its billing rates in accordance with Chazen's new annual fee schedule. Chazen may suspend its performance under this Agreement until all delinquent amounts due for services and expenses have been paid. All amounts due and owed Chazen under this Agreement shall be paid in full at the completion of services. Chazen may refuse to release reports, maps and materials prepared by Chazen for Client until all arrearages are paid in full. If Chazen is required to retain an attorney and/or collection agency to collect amounts due Chazen under this Agreement, Client agrees to pay Chazen's reasonable attorney's and/or collection fees together with the costs and disbursements of any such action.

   ☐ **A retainer in the amount of $_____ will be required prior to the initiation of services. This retainer will be held until the end of the project and applied to Client's final invoice. Any excess amount will be returned to Client.**

   ☐ **Final payment will be due upon delivery of the final work product (e.g. report, survey, etc.).**

3. **COOPERATION:** Client agrees to keep Chazen informed of changes to the project scope and schedule, and shall arrange for and provide Chazen entry to property in order to perform the services. Client shall give Chazen prompt notice of any potentially hazardous or injurious conditions Client knows of or has reason to know of which may be present on property Chazen must enter. Client agrees to allow Chazen to display appropriate promotional signage during construction, and to allow Chazen to make a photographic record of the project prior to, during, and subsequent to construction. Client agrees to allow Chazen to use photographic images, along with information about the project and/or a description of the services provided, for promotional purposes without restriction or monetary compensation.

4. **PROJECT DOCUMENTS:**

   A. All Documents which may include, but are not limited to, Plans, Specifications, Survey Plats, Technical Reports and Correspondence are instruments of service with respect to this Project, and Chazen shall retain an ownership and property interest therein, including the right to reuse the Documents. The right to alter the Documents belongs only to Chazen.

   B. Client and Client's contractors or other consultants may rely only upon printed copies (also known as hard copies) of Documents that are signed and sealed by a Licensed Professional employed by Chazen. If there is any discrepancy between printed copies and any electronic copies, the most recent version of the printed and certified copies govern.

   C. Any electronic copies (files) provided will be provided solely as a convenience and shall NOT be considered "Contract Documents," "Construction Documents" or any type of certified document. All documents considered "Contract Documents," "Construction Documents" or any type of certified document shall consist only of printed copies having an original signature and seal of a Licensed Professional employed by Chazen.

   D. Be advised that electronic copies of Documents can deteriorate or be inadvertently modified without Chazen's consent, or may be otherwise corrupted or defective. Accordingly, Client and Client's contractors or other consultants may not rely upon the accuracy of any electronic copies of Documents.

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10. **AMENDMENTS:** This Agreement shall bind Client and Chazen and their successors and assigns. The parties may, by written agreement(s), modify and amend this Agreement. Any such amendment must be in writing and be signed by the party against whom enforcement of the amendment is sought. No breach of any part of this Agreement shall be deemed waived unless expressly waived in writing by the party who might assert such a breach. The failure of any party to insist in any one or more instances upon strict performance of this Agreement shall not be construed as a waiver of the right to insist upon strict performance.

11. **GOVERNING LAW:** This Agreement shall be governed and construed by the laws of the State of New York. For purposes of any legal action or suit related to or arising out of this Agreement venue shall be Dutchess County, New York.

12. **COUNTERPARTS:** This Agreement, and any amendments or revisions thereto, may be executed in two or more counterparts each of which shall be deemed an original, but which together shall constitute one and the same instrument(s).

13. **REPRESENTATIONS:** Client and Chazen state that each has full power and authority to make, execute and perform this Agreement. Signatory for Client states that he is an officer, owner, partner, agent or attorney for Client. Neither Client nor Chazen is bankrupt or have availed themselves of any debtor's remedies nor are currently contemplating such.

CLIENT Village of Tarrytown, NY

By: _____

Printed Name: _____

Date: _____

THE CHAZEN COMPANIES
Chazen Engineering, Land Surveying
& Landscape Architecture Co., D.P.C.

By: _____

Printed Name: _____

Date: _____

EDG

Condition Survey Report
Fire House, Tarrytown

To:	Mike Mc Garvey (MMcGarvey@tarrytowngov.com)
Cc:	Anthony Stasio (EDG)
Report written by:	Catherine Gonzalez, Project Architect
Report reviewed by:	Anthony Stasio, P.E.
Field Inspection Date (s):	06.15.2016
Field Inspection Time:	11:00am-12:30p.m.
Weather:	80's-Sunny
Attendees:	Mike Mc Garvey; Catherine Gonzalez (EDG)

The property, located at **150 West Franklin St. Tarrytown**, is rectangular in shape ***(refer to photo 6)*** and it's divided in two sections. The front section, the original building and accessible from Franklin St. (east side), and the latest section at the back of the house, which serves as the kitchen space. On **06.15.2016**: EDG representative (Catherine Gonzalez) visited, to inspect the condition of the existing floor framing, at the back of the house. Two probes were opened to perform the investigation. ***Refer to photo 1SK.***

See below observations:

- *Observations probe 1 (photos 3 thru 5):*
  - Probe was opened at the floor nearest to the original building structure/ foundation. A girder was observed bearing "only" on a CMU with one brick shim in between. The girder does not touch the existing foundation wall and no blocking support was evident.
  - Joists were visible across, supported by the girder. No bracing or other supports were visible during the investigation.

- *Observations probe 2 (photo 2):*
  - Probe was opened near the back door access. Sand was observed at the bottom of the crawl space and concrete perimeter wall along the door location. Due to the insulation and small opening of the probe, visibility and access was limited.

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EDG

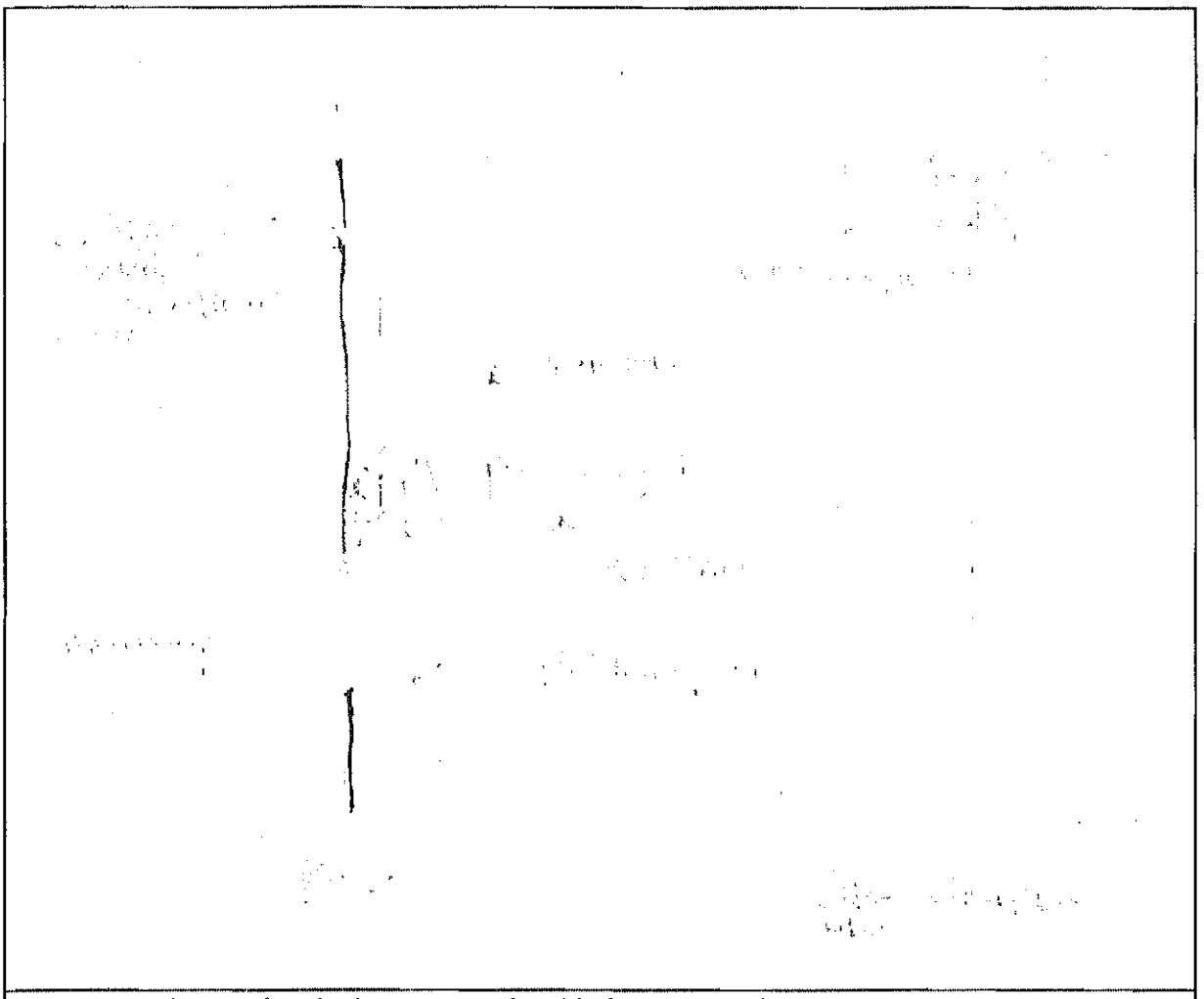

Photo 1SK: Sketch of probe locations and visible framing condition.

EDG

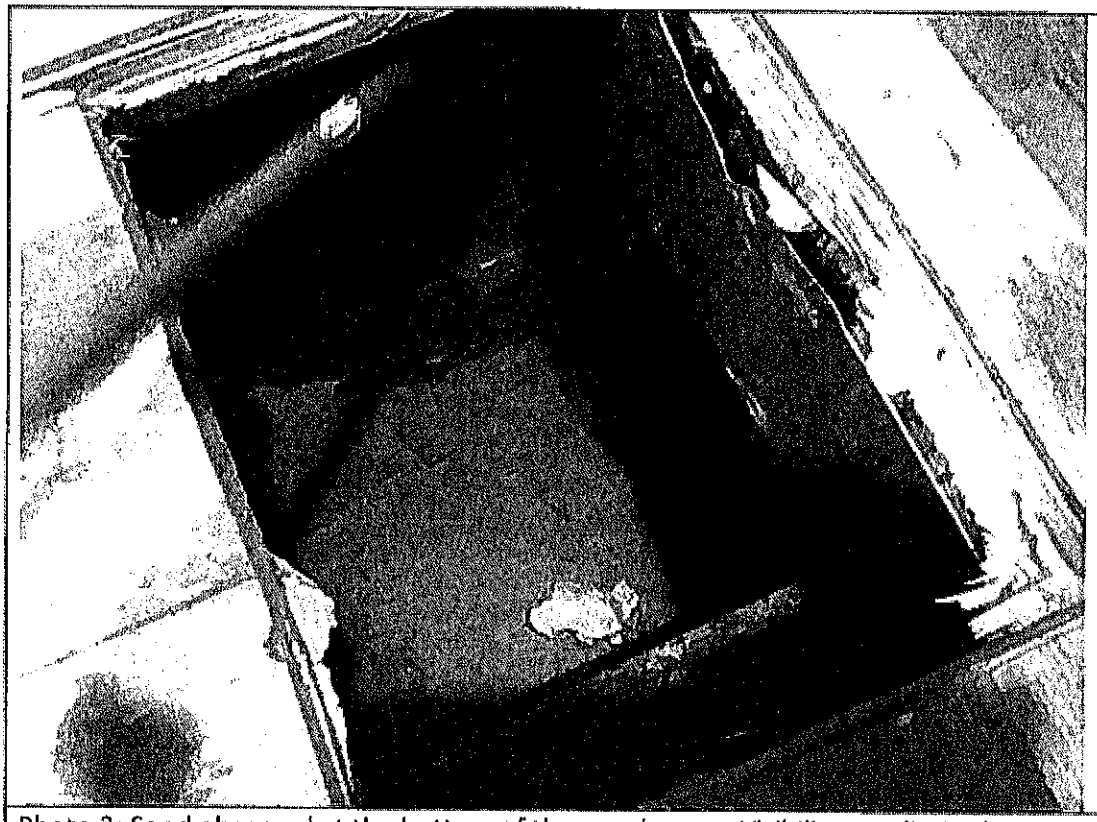

Photo 2: Sand observed at the bottom of the crawl space. Visibility was limited.

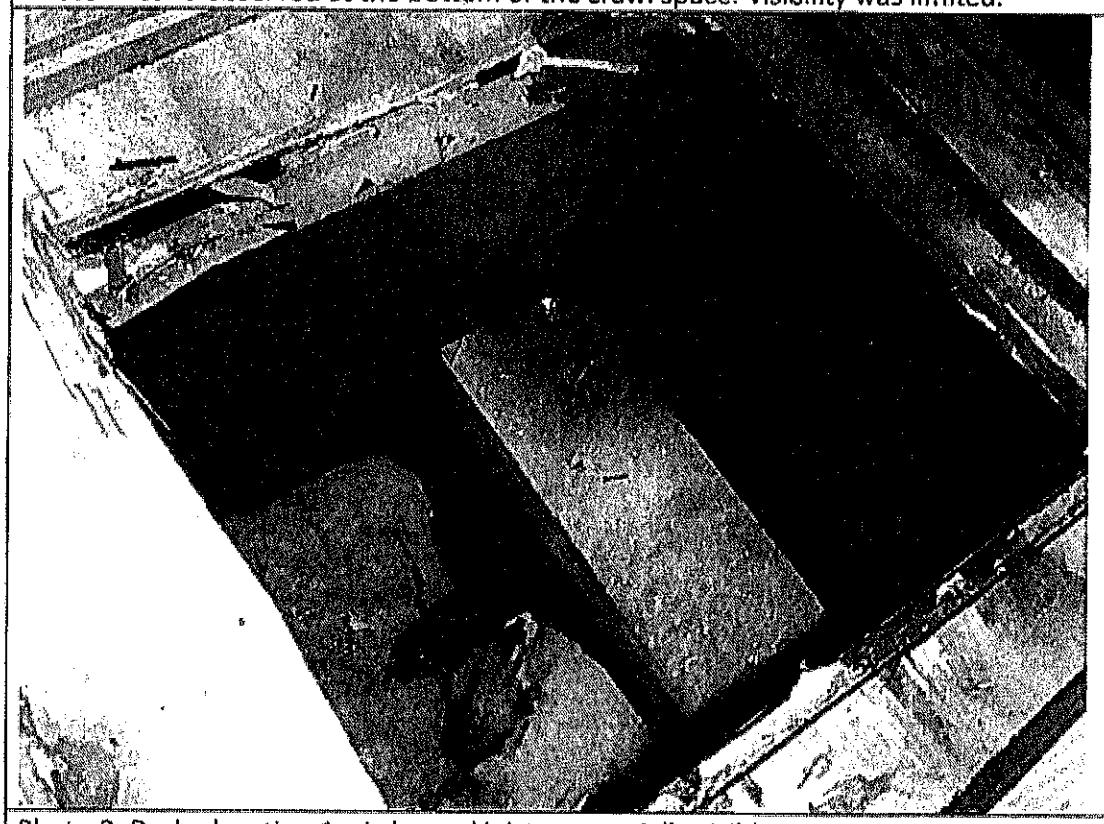

Photo 3: Probe location 1, girder and joist are partially visible.

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EDG

Photo 4: Girder supported by bricks, debris, and CMU. Foundation visible beyond.

EDG

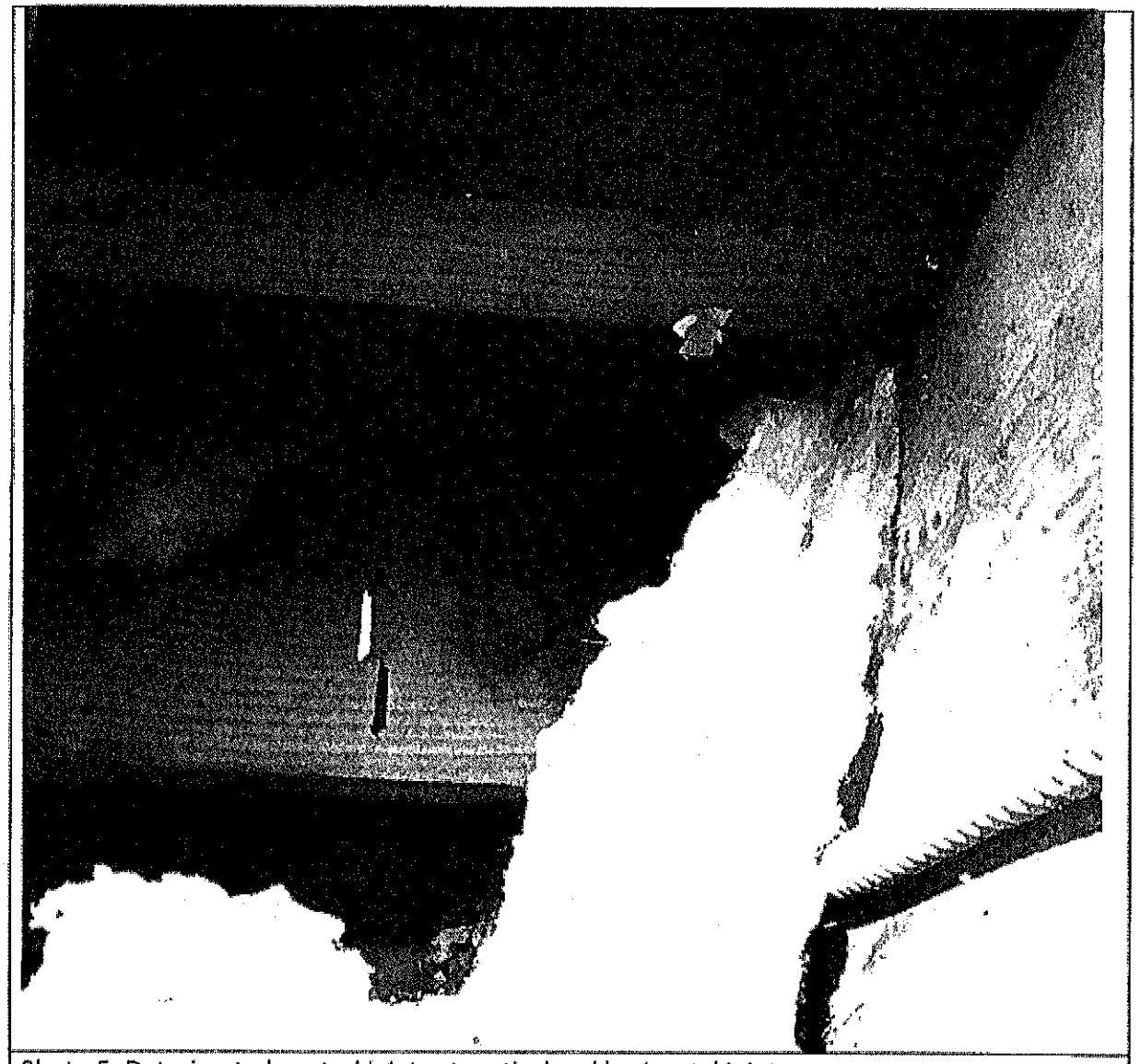

Photo 5: Deteriorated control joints at vertical and horizontal joint.

Photo 6: General photo of the 18x18 space.

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Dan Pennella

From: Catherine Gonzalez <cgonzalez@edgnyc.com>
Sent: Monday, April 17, 2017 11:25 AM
To: Dan Pennella
Cc: Richard Slingerland
Subject: RE: recap Fire House meeting

Dan, please send me your cellphone or call me at 516-474-4946 thanks

From: Dan Pennella [mailto:DPennella@tarrytowngov.com]
Sent: Thursday, April 6, 2017 5:32 PM
To: Catherine Gonzalez <cgonzalez@edgnyc.com>; Richard Slingerland <rslingerland@tarrytowngov.com>
Cc: Anthony Stasio, P.E. <AStasio@edgnyc.com>
Subject: RE: recap Fire House meeting

Catherine,

Since the crawl space was not accessible to the base plates and floor joists, I suggested creating an access from the exterior to access under the floor joists and is now complete. Once you get a better look to see what is going on under the floor if probes are need we would do them. Since there is no cracking in the bricks I assumed this would be process of elimination to doing probes immediately. Let me know if you now suggest otherwise. The training I'm referring to is confined space for entering in the crawl space.

Dan

From: Catherine Gonzalez [ ]
Sent: Thursday, April 06, 2017 5:18 PM
To: Dan Pennella
Cc: Anthony Stasio, P.E.
Subject: RE: recap Fire House meeting

Hello Dan,

Good to hear back from you. Would you please, clarify what you mean about "proper training" required to access the "confined space"? During or last meeting we had discussed doing three probes (see highlighted copy below). Are you planning to do the ceiling probe and the exterior probe as well (items 2 & 3)?

- Three probes are to be furnished by owner, for close up observations. Locations were verbally identified during meeting such as:
    1. exterior foundation/brick corner (north-west). At this location, owner proposed a fixed access (instead of a temporary "probe") approximately 3'x3' which would be accessible when necessary.
       Ceiling underside and possibly top to observe wall and ceiling assemblies.
       at exterior: partial removal of the base brick near crawl space vent to observe the brick bearing/supports. Brick appeared to be bearing on less than 2" (shoring is required).

If the access is ready, we can arrange for next week or the following.

Regards, Catherine

From: Dan Pennella [ ]
Sent: Tuesday, April 4, 2017 5:38 PM
To: Catherine Gonzalez < >; Anthony Stasio, P.E. < >
Cc: Richard Slingerland < >
Subject: RE: recap Fire House meeting

Catherine & Anthony,

The access opening to the underside of the kitchen area at the Riverside Fire Company as shown in the attached sketch has been created. This will provide adequate access to determine the repairs needed so, please schedule a time to complete this investigation. The area is considered a confined space, therefore, personnel entering the space will need to have proper training. I can make arrangements to have an air monitor available.

Thanks,

Dan

Donato R. Pennella, P.E.
Village Engineer/Building Inspector
One Depot Plaza
Tarrytown, N.Y. 10595
p.(914) 631-3668
f.(914) 631-1571
e.

From: Catherine Gonzalez [ ]
Sent: Monday, December 12, 2016 1:13 PM
To: Dan Pennella
Cc: Anthony Stasio, P.E.
Subject: FW: recap Fire House meeting

Hello Dan, have you had a chance to review the proposal based on the below comments?. It was sent back in Sept.

Thanks Catherine

From: Catherine Gonzalez
Sent: Thursday, September 8, 2016 11:58 AM
To: 'Dan Pennella' < >
Subject: FW: recap Fire House meeting

Dan I have been trying to send you this email below. It appears the size limit for your emails is pretty low. Confirm received. Thanks (I had to remove a few reference pictures).

From: Catherine Gonzalez
Sent: Thursday, September 8, 2016 11:40 AM
To: 'Dan Pennella' < >
Subject: FW: recap Fire House meeting

Dan I wanted to confirm you received the email below including attachments. Thanks Catherine

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From: Catherine Gonzalez
Sent: Wednesday, September 7, 2016 11:29 PM
To: 'Dan Pennella' < >
Cc: Anthony Stasio, P.E. < >
Subject: recap Fire House meeting

Hello Dan,

First, a pleasure meeting you today. Second, I wanted to briefly recap today's site meeting. See below :

- As per observations, the new/earliest addition to the building appears to have various conditions. This includes, displacement, improper brick support at concrete curb, and/or displaced walls.
- At interior: It appears the floor is not actually moving, however, earlier settling is obvious. This item might require repairing the interior wood framing and finish floor.
- Open joints were obvious at the back-patio aluminum door perimeter (east). No backer rod was observe and sealant was deteriorated. This requires further investigation.
- The brick is a one course from ground to parapet. Condition behind the brick wall is to be verified. It is assumed there are no brick ties (EDG accessed roof and confirmed 1 course at parapet).
- Three probes are to be furnished by owner, for close up observations. Locations were verbally identified during meeting such as:
    - exterior foundation/brick corner (north-west). At this location, owner proposed a fixed access (instead of a temporary "probe") approximately 3'x3' which would be accessible when necessary.
    - Ceiling underside and possibly top to observe wall and ceiling assemblies.
    - at exterior: partial removal of the base brick near crawl space vent to observe the brick bearing/supports. Brick appeared to be bearing on less than 2" (shoring is required).

Please, do not hesitate to contact me with any questions.

Thanks , Catherine

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Dan Pennella

From: pjpcels <pjpcels@aol.com>
Sent: Wednesday, April 03, 2019 12:09 PM
To: Dan Pennella
Subject: Re: Riverside Hose Engine Co. 80

Ok, not all that reasonable given the boring I have so they must done something to reduce that loading.
1 TSF would settle in this soil profile and it probably did.

More later.

-----Original Message-----
From: Dan Pennella <DPennella@tarrytowngov.com>
To: pjpcels@aol.com <pjpcels@aol.com>
Sent: Wed, Apr 3, 2019 12:01 pm
Subject: FW: Riverside Hose Engine Co. 80

Paul,

After our discussion this morning I contacted Mike regarding pile footings under Riverside. He does not recall finding any piles during the excavation process and/or in any documentation. I also looked at the file again and found the attached foundation plan. Based on the size of the intermediate columns it's not likely that piles were installed directly under them, only 3'6". If the building was on piles I would have expected to see pile caps. With the loads, including the truck bay being transferred to 3' wide perimeter footing the min. required soil pressure is 1 ton per sf., somewhat reasonable and supports the case that piles may not have been utilized.

Thanks,

Dan

From: Dan Pennella
Sent: Tuesday, April 02, 2019 2:43 PM
To: 'pjpcels'
Cc: 'csapienza@tarrytowngov.com (CSapienza@tarrytowngov.com)'
Subject: RE: Riverside Hose Engine Co. 80

The pre-construction soil borings were attached. The field tests during construction will be sent via drop box.

From: pjpcels [mailto:pjpcels@aol.com]
Sent: Tuesday, April 02, 2019 2:11 PM
To: Dan Pennella
Subject: Re: Riverside Hose Engine Co. 80

What about the new building you are in?

-----Original Message-----
From: Dan Pennella <DPennella@tarrytowngov.com>
To: pjpcels <pjpcels@aol.com>
Sent: Tue, Apr 2, 2019 11:27 am
Subject: RE: Riverside Hose Engine Co. 80

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Sent: Fri, Mar 29, 2019 5:30 pm
Subject: RE: Riverside Hose Engine Co. 80

Ok, no problem. Have a nice weeked.

From: pjpcels [mailto:pjpcels@aol.com]
Sent: Friday, March 29, 2019 5:13 PM
To: Dan Pennella
Subject: Re: Riverside Hose Engine Co. 80

Dan:

Monday, got caught up again in something I thought I had to get done.

Monday afternoon.

PJP

-----Original Message-----
From: Dan Pennella <DPennella@tarrytowngov.com>
To: pjpcels@aol.com <pjpcels@aol.com>
Sent: Fri, Mar 29, 2019 4:04 pm
Subject: FW: Riverside Hose Engine Co. 80

Paul,

Will you be coming before 5pm? Or another day?

From: Dan Pennella
Sent: Friday, March 29, 2019 7:29 AM
To: 'pjpcels'
Subject: RE: Riverside Hose Engine Co. 80

No problem, that's what I figured happens when it's a court matter. I'll be out this morning and can try this afternoon if you are available. My cell number is 914-505-4449.

From: pjpcels [mailto:pjpcels@aol.com]
Sent: Thursday, March 28, 2019 4:52 PM
To: Dan Pennella
Subject: Re: Riverside Hose Engine Co. 80

Dan:

Court ran over what I expected and I was on the stand 3:00, could not get out to call.

PJP

-----Original Message-----
From: Dan Pennella <DPennella@tarrytowngov.com>
To: pjpcels <pjpcels@aol.com>
Sent: Wed, Mar 27, 2019 9:13 am
Subject: RE: Riverside Hose Engine Co. 80

Don't rush I will be here tomorrow after 3pm.

From: pjpcels [mailto:pjpcels@aol.com]
Sent: Tuesday, March 26, 2019 6:07 PM

Dan

Donato R. Pennella, P.E.
Village Engineer/Building Inspector
One Depot Plaza
Tarrytown, N.Y. 10595
p.(914) 631-3668
dpennella@tarrytowngov.com

From: Harriet Markis [mailto:harriet@markisengineering.com]
Sent: Wednesday, October 24, 2018 7:04 PM
To: Dan Pennella
Subject: FW: Riverside Hose Engine Co. 80

Dear Dan,
It was very nice chatting the other day and I appreciate that you thought of Dunne & Markis. However, as I mentioned on the phone, with Kathy's retirement, I decided let the staff go and I am a currently working as a single proprietor with a remote drafter – consequently the "flavor" of my practice has had to change.
I am fortunate to be very very busy, and I just cannot afford the time to do your Fire House job – specifically the on-site time. I can however recommend several colleagues who have junior staff that they can send out to more accurately survey the structure and propose solutions for you. They are (in no particular order):

- Erik Madsen of Madsen Consulting Engineering, PLLC
  212 634 7886
- Jason Jia of Engineering Group Associates
  212 982 1410
- Jesse Chrismer of Entuitive
  917 661 7984

I wish you the best of luck in successfully completing this project.

Best regards,
Harriet

Harriet Markis, PE, SECB
MARKIS
Markis Consulting Engineering, PLLC
6014 Delafield Avenue
Bronx, New York 10471
718-884-4647

From: Dan Pennella <DPennella@tarrytowngov.com>
Sent: Tuesday, October 23, 2018 9:12 AM

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HILLMAN & MILEY
CONSULTING ENGINEERS PLLC

October 24, 2018

Donato R. Pennella, P.E.
Village Engineer/Building Inspector
One Depot Plaza
Tarrytown, N.Y. 10595

Reference: Proposal for Professional Engineering Services
Investigation & Report - Riverside Engine 80 Firehouse Floor
150 West Street, Tarrytown NY

Dear Mr. Pennella:

Following is our proposal for professional structural engineering services.

A. SCOPE OF PROJECT:

The scope of this project is the structural investigation/evaluation of the main floor framing of the rear section of the building. Sinking or settlement has been observed in the finished floor. The floor structure will be accessed through an exterior opening into the crawl space. We assume that the height of the crawl space will be reasonable enough to be able to examine a significant area of the underside of the floor.

B. SCOPE OF SERVICES:

B.1 Investigation and Report:

In general, it our intent to provide structural engineering services for the project as described above. The scope of services to be provided is as follows:

1. One (1) site visit for observations of existing conditions in the crawl space below the main floor.
2. Attempt to ascertain the condition and type of structural framing and foundation walls of the main floor.
3. Review prior inspection reports.
4. Review and analyze original construction drawings or documents, if available.
5. Consultation with Tarrytown personnel in regard to floor conditions.
6. Evaluation and analysis of collected data.
7. Prepare written report of findings, including basic recommendations/sketches for repair/remediation to structural systems.

235 Mamaroneck Ave 302 White Plains NY 10605 Phone: 914.428.0909 email: info@hillmanmiley.com

F. TIME FRAME:

This proposal is valid for thirty (30) calendar days only. All terms are subject to reevaluation after said term expires. A mutually agreeable schedule shall be determined upon acceptance of this proposal.

G. BILLING:

Invoicing will be on a monthly basis, with payment due 30-days from receipt.

H. TERMINATION:

Our services may be terminated upon written notice and payment for all engineering work performed and all outstanding bills and expenses to date.

I. CHANGES IN SCOPE OF SERVICES:

Revisions/changes or additions to Scope of Project or Scope of Services, which necessitates additional work by Hillman and Miley, will be paid for at the hourly rates stipulated or an agreed to lump sum.

J. GENERAL CONDITIONS:

a. The standard of care for all professional services performed or furnished by Consultant under this Agreement will be the skill and care used by members of Consultant's profession practicing under similar circumstances at the same time and in the same locality. Consultant makes no warranties, express or implied, under this Agreement or otherwise, in connection with Consultant's services. Consultant will conduct its services in accordance with applicable laws.

b. Client and Consultant each agree to indemnify and hold the other harmless and their respective officers, employees, members, managers, agents and representatives, from and against liability for all claims, losses, damages and expenses, including reasonable attorney's fees to the extent such claims, losses, damages, or expenses are caused by the indemnifying party's or employee's negligent or wrongful acts, errors or omissions. In the event claims, losses, damages or expenses are caused by the joint or concurrent negligence of Client and Consultant, they shall be borne by each party in proportion to its negligence. No principal, partner, member, manager, director, officer or corporate party or affiliate will be personally liable for any such judgement or for breach of this agreement.

c. Neither party shall be deemed in default of this Agreement to the extent that any delay or failure in the performance of its obligations results from any cause beyond its reasonable control and without its negligence.

d. Client may terminate this Agreement with seven days prior written notice to Consultant for convenience or cause. Consultant may terminate this Agreement for cause with seven day prior written notice to Client. Failure of Client to make payments when due shall be cause for suspension of services or, ultimately, termination, unless and until Consultant has been paid in full amount due for services, expenses and other related charges. Consultant agrees to continue providing services, if delayed payments are related to invoice items that are a matter of determining whether the specific professional services are additional services or basic services,

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name. Vehicles are personally owned and insured per New York State requirements.) Consultant agrees to name Client, as additional insured on its general liability policies and provide Client with a Certificate of Insurance for all coverages. (Client cannot be named as additional insured on a professional liability policy).

K. CONTRACT:

This proposal represents the entire understanding between undersigned **Village of Tarrytown New York** and **Hillman & Miley Consulting Engineers, PLLC** in respect to this project and may only be modified in writing by both parties. In addition, nothing contained in this agreement or otherwise is intended to create a fiduciary relationship between the parties.

L. APPROVAL:

Should this proposal meet with your approval, kindly sign and return one copy. Retain one copy for your files.

Respectfully submitted,
Hillman & Miley Consulting Engineers, PLLC

Kevin J. Miley

by: Kevin J. Miley, PE, Principal
KJM:lrh
M:\Secretarial\Word Documents\Proposals\2018 Proposals\Breuer-Verizon-WallDemo-Marlboro-NY.docx

Accepted_____Date_____

5

PCI

Professional Consulting, llc.

Octagon 10 Office Center
1719 Route 10, Suite 225
Parsippany, New Jersey 07054

Phone: 973.683.0044
Fax: 973.683.0077

October 30, 2019

RECEIVED
NOV / 1 2019
TARRYTOWN VILLAGE ADMINISTRATOR

Richard Slingerland, Village Administrator
Village of Tarrytown
One Depot Plaza
Tarrytown, NY 10591

Re: Recommendation of Award
Crest Area Water Main Improvements
Contract No. 2019-03
Village of Tarrytown, NY
PCI No. 470

Dear Mr. Slingerland:

Bids for the above referenced project were received on October 23, 2019 at 2:00PM. There were ten (10) bidders. A summary of the bids is as follows:

1. MTS Infrastructure, LLC.	$ 1,863,802.50
2. Joken Development Corp.	$ 1,999,820.00
3. Gianfia Corporation	$ 2,095,400.00
4. ELQ Industries, Inc.	$ 2,178,380.00
5. Landi Contracting, Inc.	$ 2,291,000.00
6. Bilotta Construction Corp.	$ 2,331,188.00
7. Paladino Concrete Creations Corp.	$ 2,351,250.00
8. Montesano Bros. Inc.	$ 2,513,350,00
9. R. Pugni & Sons, Inc.	$ 2,593,250.00
10. Brennan Construction	$ 2,781,050.00
Engineer's Estimate	$ 2,200,000.00

For a summary of the unit prices, and bids for all the contractors, please see the attached summary table.

The bids received were competitive. MTS Infrastructure, LLC. has the lowest bid for the project. We have reviewed the low bidder's bid package and found it complete. We have evaluated the low bidder's bid package and have discussed Contractor's

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understanding of the project. We were satisfied with the low bidder's construction experience and their knowledge of the project.

Based on the information received from construction managers of the recently completed projects by the contractor, and given the low bidder's cost being less than the average cost and less than the engineer's estimate, strict oversight of the Contractor's work is strongly recommended to prevent any potential change-orders or claims.

Based on the above, we find the low bid to be reasonable, and as such, we recommend (subject to Counsel's opinion) that the Contract be awarded to MTS Infrastructure, LLC. in the amount of $1,863,802.50.

We are returning (under separate cover) the ten (10) original bid packages to Village for Counsel's review, and request his comments be sent to the Village and our office.

Should you have any questions or require any additional information, please do not hesitate to contact us.

Very truly yours,
PROFESSIONAL CONSULTING, LLC.

Arshad Jalil, P.E., BCEE
Principal

Enclosure

C: Donato R. Pennella, P.E., Village Engineer
Steve Silverberg, Esq, Village Attorney

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				MTS Infrastructure LLC 744 North Bedford Road Bedford Hills, NY 10507		Joken Development Corp. 9 Belway Place White Plains, NY 10601		Glanfla Corporation 179 Brady Avenue Hawthorne, NY 10532		ELQ Industries, Inc. 567 Fifth Avenue New Rochelle, NY 10801	
Item No	Estimated Quantity	Units	Description	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1	Lumpsum	L.S.	Insurance,Bonds,Permits & Temporary Construction Facilities	N/A	$88,752.50	N/A	$51,000.00	N/A	$165,000.00	N/A	$152,500.00
2A	200	L.F.	Furnishing & Install 8"-Inch Cement Lined Ductile Iron Water Main	$260.00	$52,000.00	$317.50	$63,500.00	$285.00	$57,000.00	$400.00	$80,000.00
2B	50	L.F.	Furnishing & Install 10"-Inch Cement Lined Ductile Iron Water Main	$260.00	$13,000.00	$284.00	$14,200.00	$310.00	$15,500.00	$280.00	$14,000.00
2C	3,200	L.F.	Furnishing & Install 12"-Inch Cement Lined Ductile Iron Water Main	$316.00.	$1,011,200.00	$341.60	$1,093,120.00	$312.50	$1,000,000.00	$250.00	$800,000.00
3	40	Each	Replacement & Transfer of existing water service connections to new water mains	$1,100.00	$44,000.00	$1,510.00	$60,400.00	$2,800.00	$112,000.00	$4,000.00	$160,000.00
4A	10	Each	Furnish & Install New 8-Inch Buried Gate Valves	$3,650.00	$36,500.00	$1,770.00	$17,700.00	$1,850.00	$18,500.00	$1,180.00	$11,800.00
4A	4	Each	Furnish & Install New 10-Inch Buried Gate Valves	$3,900.00	$15,600.00	$2,600.00	$10,400.00	$2,500.00	$10,000.00	$1,780.00	$7,120.00
4C	30	Each	Furnish & Install 12-Inch Line Buried Gate Valves	$4,200.00	$126,000.00	$3,275.00	$98,250.00	$3,000.00	$90,000.00	$2,240.00	$67,200.00
5A	4	Each	Furnish & Install 8-Inch Insertion Valves	$6,000.00	$24,000.00	$9,500.00	$38,000.00	$10,135.00	$40,540.00	$20,660.00	$82,640.00
5B	4	Each	Furnish & Install 10-Inch Insertion Valves	$7,000.00	$28,000.00	$11,500.00	$46,000.00	$13,965.00	$55,860.00	$24,480.00	$97,920.00
5C	4	Each	Furnish & Install 12-Inch Insertion Valves	$8,000.00	$32,000.00	$14,000.00	$56,000.00	$16,500.00	$66,000.00	$27,060.00	$108,240.00
6	9	Each	Furnish & Install Fire Hydrant Assemblies	$4,500.00	$40,500.00	$9,800.00	$88,200.00	$9,450.00	$85,050.00	$7,385.00	$66,465.00
7	1	Each	Furnish & Install One (1) Check Valve Chamber	$50,000.00	$50,000.00	$18,000.00	$18,000.00	$13,700.00	$13,700.00	$17,325.00	$17,325.00
8	750	Cu.Yds.	Rock Excavation	$5.00	$3,750.00	$121.00	$90,750.00	$100.00	$75,000.00	$222.00	$166,500.00
9	10,000	Lbs.	Furnish & Install Additional Fittings	$8.00	$80,000.00	$5.00	$50,000.00	$3.00	$30,000.00	$3.25	$32,500.00
10	500	Cu.Yds.	Additional Foundation Material and Imported Granular Backfill Material	$100.00	$50,000.00	$65.00	$32,500.00	$45.00	$22,500.00	$59.50	$29,750.00
11	100	Tons	Additional Asphalt Restoration	$165.00	$16,500.00	$156.00	$15,600.00	$180.00	$18,000.00	$207.50	$20,750.00
12	100	Cu.Yds.	Additional Concrete	$165.00	$16,500.00	$215.00	$21,500.00	$720.00	$72,000.00	$683.00	$68,300.00
13	100	Cu.Yds.	Additional K-Crete	$145.00	$14,500.00	$165.00	$16,500.00	$145.00	$14,500.00	$114.00	$11,400.00
14	25	Each	Test Pits	$1,000.00	$25,000.00	$800.00	$20,000.00	$1,450.00	$36,250.00	$3,050.00	$76,250.00
15	10,000	LF/Inch Dia/VF	Reconstruction of Uncharted and Mismarked Utilities	$0.50	$5,000.00	$1.00	$10,000.00	$1.00	$10,000.00	$0.50	$5,000.00
16	400	Cu.Yds.	Removal and Disposal of Contaminated Soil	$40.00	$16,000.00	$33.00	$13,200.00	$32.50	$13,000.00	$69.30	$27,720.00
17	Lump Sum	N/A	Contingencies & Extra Work	N/A	$75,000.00	N/A	$75,000.00	N/A	$75,000.00	N/A	$75,000.00
			TOTAL		$1,863,302.50		$1,999,820.00		$2,095,400.00		$2,178,380.

LOCAL LAW ____ - 2019

A local law to amend Chapter 125 of the Code of the Village of Tarrytown entitled "Dogs and Other Animals", to amend the code provisions to allow for the keeping of chickens subject to certain restrictions.

Section 1. Be it enacted by the Board of Trustees of the Village of Tarrytown as follows (Language in **Bold and Underlined** to be added, language in ~~**Strikethrough and bold and underlined**~~ to be deleted):

Section 2. Amending Existing Provision. Chapter 125, Section 1. Entitled "Definitions" is hereby amended as follows:

A used in this chapter the following terms shall have the meanings indicated:

CHICKEN
An egg-producing mature female chicken or hen.

DOMESTIC ANIMAL
Any domesticated sheep, horse, cattle, swine, fowl **(but not including chickens maintained in accordance with this Chapter)**, duck, goose, turkey, goat, hare, skunk, fox, pigeon (including homing or racing pigeons), pheasant or other bird which is raised in confinement but not normally considered a household pet.

Section 3. New Provision. A new Chapter 125, Section 3 shall be added as follows:

§ 125-3. Keeping of Chickens.

A. **The keeping of 12 or fewer chickens is permitted as an accessory use in all single-family residential zones (the R-80, R-60, R-40, R-30, R-20, R-15, R-10, R-7.5 and R-5) subject to the following restrictions:**
   (1) All structures used for the housing and feeding of chickens and all exercise yards, pens or other areas used for their maintenance shall be located so at to comply with minimum setback requirements governing accessory buildings as set forth in Chapter 305.
   (2) Chickens must be confined at all times to a chicken coop and/or fenced-in enclosure and shall not be permitted to roam freely on any property in the Village of Tarrytown.
   (3) Any chicken coop or similar-type structure for housing or enclosing chickens shall not exceed 8 feet in height nor be greater than 25 feet in building coverage and shall not be constructed or erected prior to obtaining a building permit.
   (4) All feed shall be housed in rodentproof containers.

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(5) **All structures used for the housing and feeding of chickens and all exercise yards, pens or other areas used for their maintenance shall be kept clean and free of noticeable odors across property lines.**
(6) **No roosters shall be permitted in any building or on any property within the Village of Tarrytown.**
(7) **No commercial sale of chickens or their eggs shall be permitted.**

Section 4. Amending Existing Provision. Chapter 125, Section 2. Entitled "Restrictions" is hereby amended as follows:

H. No person owning or possessing any household pet **or chicken** shall suffer or allow it to disturb the comfort, peace or repose of persons in the vicinity by long, continued, frequent or repetitive noise.

Section 5. Renumbering.

The current Chapter 125, Section 3 entitled "Penalties for offenses" shall be renumbered as Chapter 125, Section 4.

Section 6: Severability

If the provisions of any article, section, subsection, paragraph, subdivision or clause of this local law shall be judged invalid by a court of competent jurisdiction, such order of judgment shall not affect or invalidate the remainder of any article, section, subsection, paragraph, subdivision or clause of this local law.

Section 7: Effective Date

This local law shall take effect immediately upon filing in the office of the New York State Secretary of State in accordance with Section 27 of the Municipal Home Rule Law.

7

LOCAL LAW ____ - 2019

A local law to amend Chapter 9 of the Code of the Village of Tarrytown entitled Architectural Review Board to amend the review of certain building permit applications by the Architectural Review Board

Section 1. Be it enacted by the **Board of Trustees** of the **Village of Tarrytown** as follows (Language in **Bold and Underlined** to be added, language in ~~**Strikethrough and bold and underlined**~~ to be deleted):

Section 2. Chapter 9, Section 4. (A) "Referral of applicants for building permits" shall be amended to read as follows:

Chapter 9, Section 4. (A) shall be re-titled – Referral of applicants for building permits or other work for Architectural Review."

Section 3. Chapter 9, Section 4. (A) "Referral of applicants for building permits or other work for Architectural Review" shall be amended to read as follows:

Section 4. (A) Referral of applicants for building permits or other work for Architectural Review:

Except where an application for a certificate of appropriateness must be submitted to the Architectural Review Board pursuant to the Landmark and Historic District Act (Chapter 191, Historic Districts and Landmarks), every application for a building permit ~~shall be referred by the Building Inspector to the Architectural Review Board, provided that:~~

~~(1) There will be construction, reconstruction or alteration of any building or structure that affects the exterior appearance of the building or other structure and is visible from any public street;~~
~~(2) The proposed plans include construction, reconstruction or alteration of any deck or uncovered porch that affects the exterior appearance of the building or other structure, is visible from any public street and exceeds 25 square feet, including steps;~~
~~(3) The proposed plans include construction, reconstruction or alteration of existing/new windows or security grills that affect the exterior appearance of the building or other structure and are visible from any public street; or~~
~~(4) The proposed plans include construction, reconstruction or alteration of any fence or wall exceeding three feet in height or 20 feet in length that is visible from any public street.~~ **involving**

7

any of the following shall be referred by the Building Inspector to the Architectural Review Board:

ARB review is required for applications requiring Planning Board approval, as well as other projects, which are as detailed as follows:

1. **Construction of a new building**
2. **Reconstruction or rehabilitation of buildings with prior Architectural Review Board approval, which differs from that prior ARB approval;**
3. **Rehabilitation of buildings that involves more than replacement with materials (windows, doors, siding, or garage doors and roofing) that are not of the same kind, and which are visible from a public street. For example, while replacement of wood double-hung windows with vinyl double hung windows would not require ARB approval, replacement of double-hung windows with casement windows would.**

   Additions that increase the existing building footprint by 25% or more;
4. **All additions of any size for buildings built before 1929. For buildings built in after 1929 or later, additions that increase the existing building footprint by 25% or more.**
5. **Fences that are in the front yard (See Schematic Plan (1) or within the required minimum front yard set back (See Schematic Plan (2) and higher than thirty inches (30").**
6. **Walls, including retaining walls, that are in a front yard or within the required minimum front yard setback, higher than thirty inches (30") and are visible from a public street.**

~~6.~~7. Walls, including retaining walls, that are over 30 inches (30") and that are within the required minimum side yard or rear yard setback.

~~7.~~8. **Applications for signage or awnings;**

~~8.~~9. **Applications for a property within the Restricted Retail RR Zone or commercial properties outside the RR Zone involving:**

(a) Construction, reconstruction or alteration of any building or structure that affects the **portion of the** exterior appearance of the building or other structure that is visible from any public street**, except applications involving only fences, retaining walls, steps, and /or sidewalks**;

(b) Construction, reconstruction or alteration of any deck or uncovered porch that affects the exterior appearance of the building or other structure, is visible from any public street and exceeds 25 square feet **(such size calculation shall include any steps)**; or

(c) Construction, reconstruction or alteration of existing/new windows or security grills that affect the exterior appearance of the building or other structure and are visible from any public street.

(d) Painting using different colors than those that exist on the building, that affect the exterior appearance of the building or other structure and are visible from any public street.

4. B. Exceptions that apply in every zoning district except for the RR Zone, historic districts and historic designated structures– Since it is the intent of the Board of Trustees to provide a process for routine maintenance or changes and upgrades to buildings that do not result in major, detrimental departures from the original construction and design of a structure, applications that are excepted from ARB review include:

1. additions that increase the existing building footprint by less than 25% for buildings built after 1929 (see section 4. A. ~~4~~5.)

2. fences that are only in the rear yard or side yard set back, less than 48" and not fronting on a street. (Finish of the fence must face the adjoining property.)

7

3. walls with Planning Board approvals. ~~under Planning Board Review.~~

4. Walls that are less than 30 inches (30") in height but not within the required minimum side yard or rear yard setback.

~~including retaining walls, that are~~

~~a. less than thirty inches (30") in height and not in the side and rear yard setbacks; and~~

~~b. not visible from the street.~~

~~c. not adjoining to the neighboring property within a required minimum front yard, side yard or rear yard setback.~~

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6. painting a building or structure the same colors

7. painting a building or structure and changing colors from the existing colors, provided that the colors are in the Benjamin Moore Historical Color Chart, and the Benjamin Moore White and Off-White Color Charts, as they may be updated from time to time, maintained in the Building Department, or an equivalent color palette that has only slight variations in color hues.

8. Adding storm widows to existing windows without making further changes.

9. Replacement in kind of structures or fences that obtained prior building permit with ARB approvals.

Section 4: **<u>The current Section 9-4 (B), (C), and (D) should be renumbered to 9-4 (C), (D) and (E).</u>**

Section 5: Supersession of other laws.

All laws, ordinances, rules and regulations of the Village are modified and superseded by this article with respect to their application to parking and enforcement.

Section 6: Severability

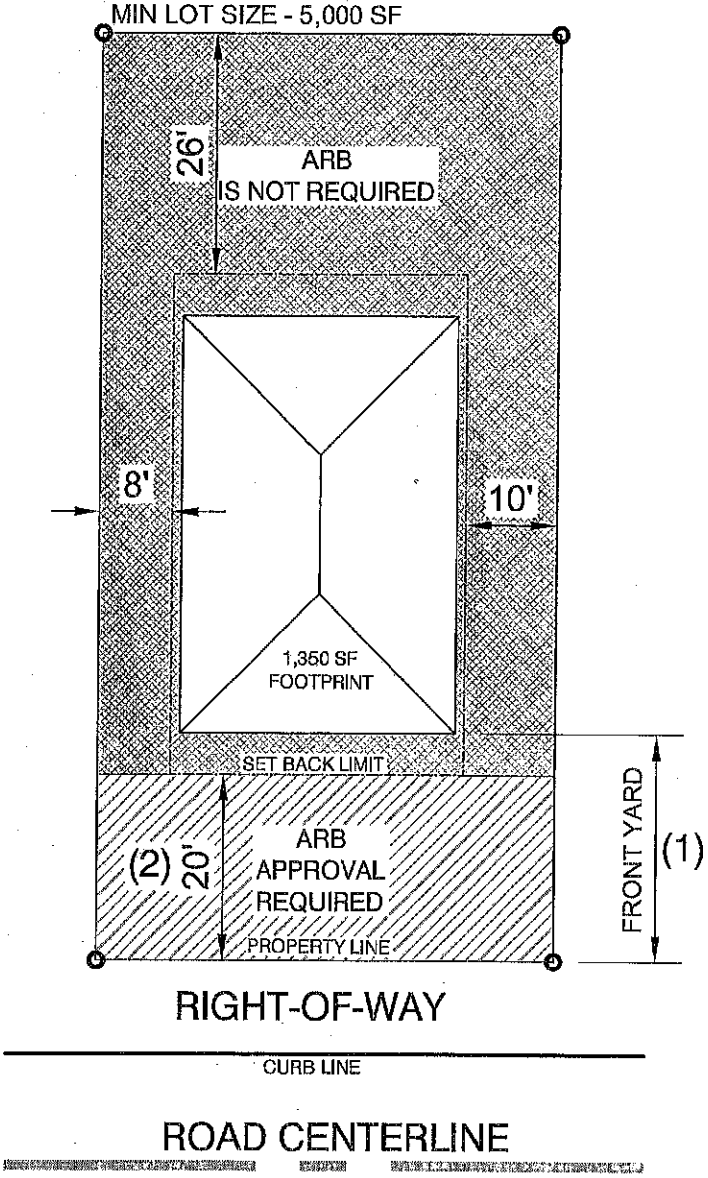
If the provisions of any article, section, subsection, paragraph, subdivision or clause of this local law shall be judged invalid by a court of competent jurisdiction, such order of judgment shall not affect or invalidate the remainder of any article, section, subsection, paragraph, subdivision or clause of this local law.

Section 7: Effective Date

This local law shall take effect immediately upon filing in the office of the New York State Secretary of State in accordance with Section 27 of the Municipal Home Rule Law.

NOTES:
(1) Indicates building front yard.
(2) Indicates front yard setback.

EXAMPLE:
R-5 ZONE
MIN LOT SIZE - 5,000 SF



FRONTAGE ON SINGLE ROAD

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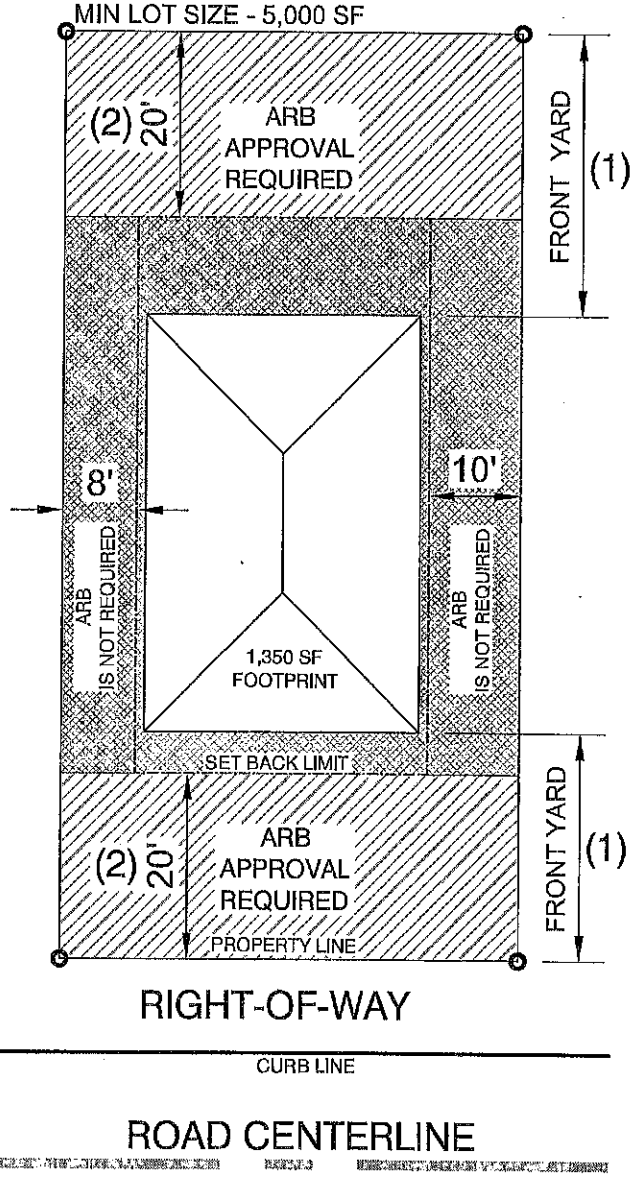

FRONTAGE ON TWO ROADS

SCHEMATIC PLAN

LOCAL LAW ____ - 2019

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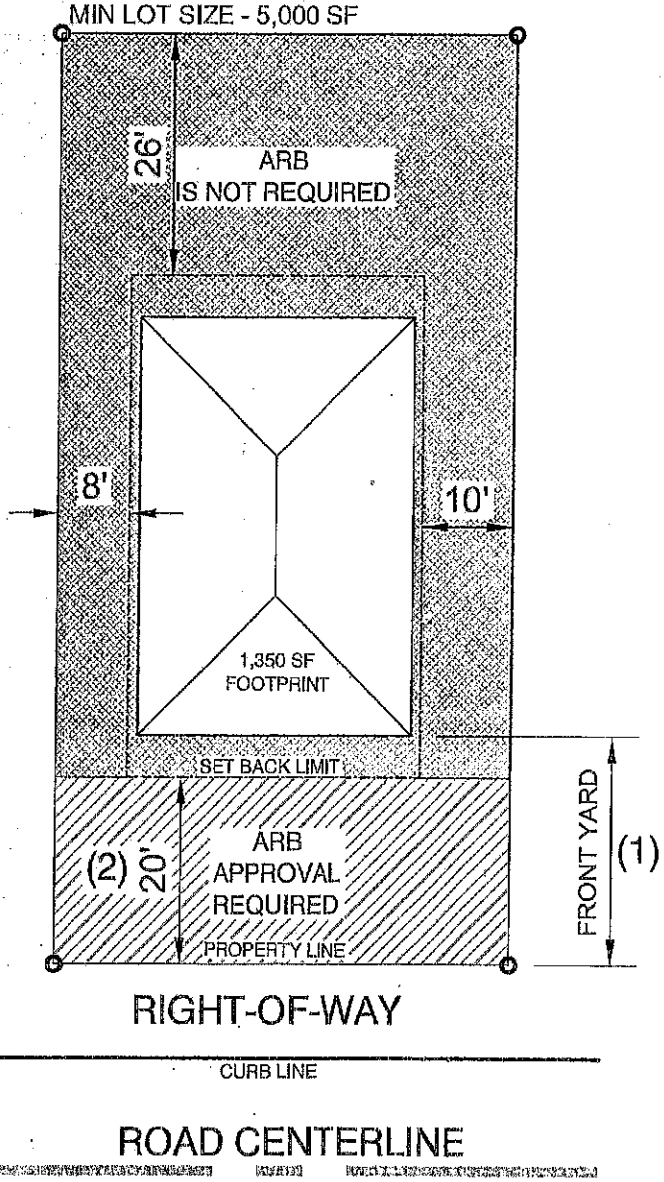
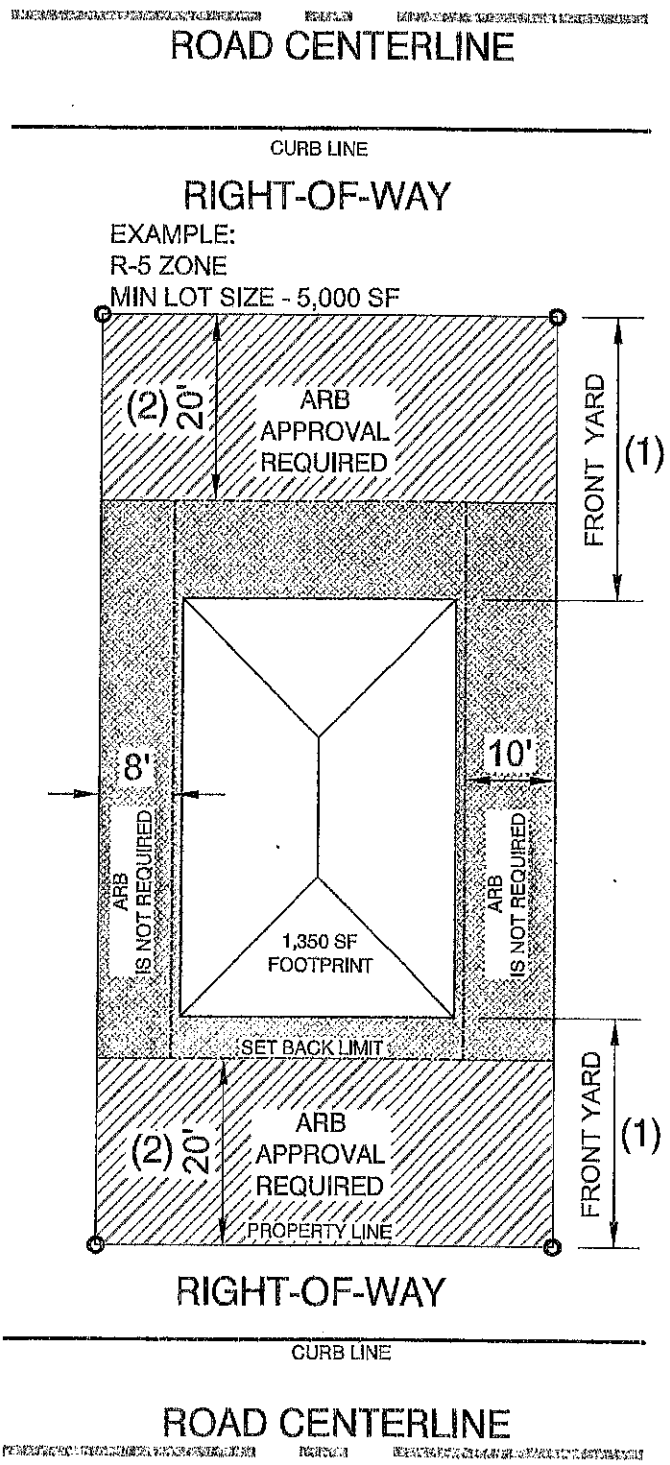


FRONTAGE ON SINGLE ROAD



FRONTAGE ON TWO ROADS

SCHEMATIC PLAN

Westchestergov.com

File Price No. RFB-WC-16027 / RFB-WC-18072
HYBRID SPORT UTILITY VEHCILES
The Bureau of Purchase and Supplies has **extended** the above referenced "Bid and File Price" to supply the County of Westchester with **HYBRID SPORT UTILITY VEHCILES** for model year 2019 with the following Vendor:

VENDOR:
728463
Hudson Toyota
599 Route 440
Jersey City, NJ 07304

AREA REP

Mr. John Himmelman

TELEPHONE NO.: (732) 216-7094

TERMS: NET

F.O.B.: Destination

Delivery: 150 days ARO
OEM Option Discount: 10% on Rav4
OEM Option Discount: 12% on Highlander

File Price No. RFB-WC-16027

Item 1: 2019 Toyota Rav4 XLE Hybrid Sport Utility Vehcile, AWD, as per the attached specifications and requirements.

Price per Vehicle: $27,287.00

Vehicle Options:

		OPTION PRICING
1.	Upgrade to RAV4 Limited Hybrid Model	$4,952.00 ✓
2.	Downgrade to RAV4 LE Plus	(-$446)
3.	Siren – Whelen Alpha series ALPHASL Installed with ALPHA3 remote switch panel, Includes 100 watt speaker	~~$797.00~~
4.	Emergency Lighting, Whelen Super LED Lights (2) mounted in rear window (2) hideaway in headlamp enclosure Avenger mounted over rear view mirror on windshield (colors to be determined at time of order) All light switches installed in easy reach of operator Light switch location top be determined at time of order	$1,845 ✓
5.	Auxiliary Lighting: Rechargeable Streamlight Strion LED HL Flashlight with 12 volt charger base/holder/mount Location to be determined at time of order	~~$195.00~~

$34,084

Village of Scarsdale
Sample
Volunteer Portal

10

Volunteer to Serve

Dear Scarsdale Residents,

Welcome to the Volunteer Homepage for the Village of Scarsdale. Scarsdale is fortunate to have a strong tradition of volunteerism and civic engagement. For generations, we have benefited from an intelligent and talented population of residents willing to give their time to help shape the character and policies of our great community. We hope that you will consider continuing this tradition through service on a volunteer board, commission, committee, or council. Please take some time to explore our Boards, Councils, and Committees to learn about various opportunities; the "Learn More" links open informational profiles for each volunteer body.

Should you decide to complete an application, you will be asked to list three groups you are interested in joining. When completing the application, please be as thorough as possible. You also are welcome to include a CV or other background information, which may be emailed to the Village Clerk after you have submitted your online application. When your information is received, you will receive an automatic confirmation. If you have any issues or questions, please reach out to the Village Clerk at 914-722-1175 or Clerk@Scarsdale.com.

Please note that vacancies are not always predictable, and vary from year to year. The Village Board will try to match your experience and interest to the right position, but there is no way to know how long it may take for you to be appointed. Most appointments are made annually in April. However, vacancies may occur over the course of the year and, should an appropriate opportunity arise, someone will reach out to you.

Sincerely,

Scarsdale Mayor and Village Board of Trustees

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Guidelines Membership Guidelines for Appointed Boards, Councils, and Committees

1. Residency

The Village Code establishes that to be eligible to serve as a member of any board or commission in the Village of Scarsdale, an applicant must be a citizen or legal resident of the United States of America, at least 21 years of age, and a resident of Scarsdale Village.

2. Civic Interest and Involvement

A majority of the members of volunteer Boards, Councils, and Committees are appointed by reason of demonstrated interest in Village and local civic affairs, through volunteer involvement. Because the overriding purpose of appointed Boards, Councils, and Committees is to assure the continuation of high community standards, it is appropriate that members are residents who have demonstrated willingness and initiative to work in support of this objective.

3. Professional or Business Affiliation

Various professional skills and training are required by law or deemed desirable by the Village Board of Trustees for the successful fulfillment of some Board, Council, or Committee charters.

4. Specialized Knowledge

Certain volunteer bodies benefit from one or more members who offer specialized knowledge. For example, the Cable Television Commission gains by having people with knowledge of the communications industry; the Advisory Council on People With Disabilities is informed by the experience of residents with disabilities; the Advisory Council on Youth benefits from members who have worked with young people; the Advisory Council on Parks and Recreation is strengthened by parents who are active in the Recreation Department's Elementary School Sports Program.

Learn More about the various boards on which a resident can serve.
APPLY to serve on a resident Board, Council, or Committee.
Review current membership rosters.

Boards, Councils & Committees

- Decision-Making Boards, Councils & Committees
- Advisory Boards, Councils & Committees
- Ad-Hoc Committees

Decision-Making

Decision-Making Boards, Councils & Committees independently review applications and submissions and may be responsible for approval or rejection, or imposing appropriate conditions.

Board, Council, or Committee	Volunteer to Serve	Meeting Days	Meeting Length	Frequency
Board of Architectural Review	Learn More	Monday	2 to 3 hours	Two per month
Cable Commission	Learn More	Varies	1 to 1.5 hours	One per month
Committee for Historic Preservation	Learn More	Tuesday	1 hour	One per month
Library Board	Learn More	Monday	2 hours	One per month
Planning Board	Learn More	4th Wednesday	1 to 2.5 hours	One per month

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Board, Council, or Committee	Volunteer to Serve	Meeting Days	Meeting Length	Frequency
Town Board of Assessment Review	Learn More	Varies	Varies	See "Learn More"
Zoning Board of Appeals	Learn More	2nd Wednesday	2 to 3 hours	One per month

Advisory

Advisory Boards, Councils & Committees work on topics referred to them by the Board of Trustees and offer expert advice to aid in decision making.

Board, Council or Committee	Volunteer to Serve	Meeting Days	Meeting Length	Frequency
Advisory Council for People with Disabilities	Learn More	Monday	Varies	Once a month
Advisory Council on Communications	Learn More	Varies	2 hours	One per month
Advisory Council on Human Relations	Learn More	Varies	2 hours	Quarterly
Advisory Council on Parks and Recreation	Learn More	Varies	2 hours	One per month
Advisory Council on Senior Citizens	Learn More	Varies	2 hours	One per month
Advisory Council on Technology	Learn More	Varies	1 to 2 hours	Quarterly; monthly, as needed
Advisory Council on Youth	Learn More	Varies	1.5 hours	Three to four meetings per year
Arts Advisory Council	Learn More	Varies	1 to 2 hours	One per month
Board of Ethics	Learn More	Varies	Varies	One annual reorganization meeting; otherwise as convened

Board, Council or Committee	Volunteer to Serve	Meeting Days	Meeting Length	Frequency
Conservation Advisory Council	Learn More	Varies	2 hours	One per month

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Ad-Hoc

Ad-hoc committees are advisory groups comprised of subject matter experts and other interested residents that the Village Board formally invites by way of resolution to engage in research and discussion focused on producing written recommendations for the Village Board surrounding a particular community interest.

Such committees generally receive a time-bound charge with specified deliverables; their work is important in helping to shape regulations and to inform new program development. Unlike standing volunteer boards, councils, and committees, an ad-hoc committee is automatically disbanded upon completion of its charge, or once the committee's specified expiration date has passed without Village Board extension.

Ad-Hoc Committee	Volunteer to Serve	Meeting Days	Meeting Length	Frequency
Ad-Hoc Committee on Food Scrap Recycling	Learn More	Varies	Varies	As needed
Ad-Hoc Committee on LED Streetlights	Learn More	Varies	Varies	As needed

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